Payne Recreation Center 3800 Main Street



OWNER

DESIGN TEAM

ARCHITECT / ROOF CONSULTANT



SHEET INDEX

RDA CONTRACT ADMINISTRATION

- . RDA IS PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT.

- 4. MEET ALL APPLICABLE BUILDING AND ZONING CODES REQUIREMENTS
- 5. INSTALL ALL PRODUCTS, MATERIALS, INSTALLATIONS, AND THE LIKE IN

SCOPE, LAYOUT AND QUALITY OF WORKMANSHIP REQUIRED. THE DOCUMENTS ARE NOT AN 'INSTRUCTION MANUAL' TO EXECUTE THE WORK NOR ARE THEY INTENDED TO SHOW OR DESCRIBE IN DETAIL EVERY ITEM NECESSARY FOR THE PROPER INSTALLATION OF THE WORK. THE MEANS AND METHODS REQUIRED TO EXECUTE THE WORK DESCRIBED IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INCLUDE THE ANCILLARY WORK REQUIRED, WHETHER EXPLICITLY STATED OR NOT, FOR THE PROPER COMPLETION OF THE WORK AS INTENDED. THE CONTRACTOR IS REQUIRED TO MEET OR EXCEED BUILDING CODE REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS, ASTM STANDARDS, AND/OR MANUFACTURER INSTALLATION REQUIREMENTS AS THEY RELATE TO THE WORK.

PACKAGE INDICATING THE INTENDED SCOPE OF THE PROJECT IN ITS ENTIRETY. AS SUCH, THE PROJECT IS STRUCTURED TO BE AWARDED TO A SINGLE PRIME CONTRACTOR. THE DOCUMENTS DO NOT DELINEATE BID PACKAGES OR ASSIGN RESPONSIBILITIES TO ANY SUBSEQUENT SUBCONTRACTORS, DICTATE CONSTRUCTION SEQUENCING. NOR PROVIDE COORDINATION BETWEEN ANY 'TRADES'. SUCH ACTIVITIES ARE THE RESPONSIBILITY OF THE HOLDER OF THE CONSTRUCTION CONTRACT. IN THE EVENT OF A DISCREPANCY WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MORE

Roof Replacements 2024:

City of Moraine

Gerhardt Civic Center 3050 Kreitzer Road

Maintenance Shop 3401 E. Venetian Way

VICINITY MAP

GERHARDT CIVIC CENTER

HIS PROJECT INCLUDES ROOF RECOVER INCLUDING ASSOCIATED IMPROVEMENTS TO ROOFTOP BUILDING COMPONENTS. NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

PRIMARY ROOF DRAINAGE IS ACCOMPLISHED BY THRU INTERNAL ROOF DRAINS. NO SECONDARY ROOF DRAINAGE EXISTS. THE ROOF CONTAINS SECTIONS OF OPEN PERIMETER WITH NO PARAPET WHICH ALLOWS FOR SECONDARY ROOF DRAINAGE, SO ADDITIONAL SECONDARY ROOF DRAINAGE IS REQUIRED. NO CHANGES ARE PLANNED FOR EXISTING PRIMARY DRAINAGE SYSTEMS. ALL DRAINAGE SYSTEMS ARE PROPERLY SIZED.

AUTHORITY HAVING JURISDICTION: ZONING PERMIT - CITY OF MORAINE **BUILDING PERMIT - CITY OF MORAINE**

BUILDING CODE: 2024 OHIO EXISTING BUILDING CODE [OEBC]

2024 OHIO BUILDING CODE [OBC] 2021 INTERNATIONAL ENERGY CONSERVATION CODE [IECC 2021]

1/4" PER 12", FOR ROOFS WHICH PROVIDE POSITIVE DRAINAGE.

OHIO EXISTING BUILDING CODE

301.3.2: WORK AREA COMPLIANCE METHOD [REFER TO 302-309 AND CH. 6-12] 602.2: ALTERATION - LEVEL 1 [REFER TO CH. 7] 705.1: REFER TO CHAPTER 15 OF OHIO BUILDING CODE ROOF REPLACEMENT OR ROOF RECOVER OF EXISTING LOW SLOPE ROOF COVERINGS SHALL NOT BE REQUIRED TO MEET MINIMUM DESIGN SLOPE OF

RECOVERING OR REPLACING AN EXISTING ROOF COVERING SHALL NOT BE REQUIRED TO MEET THE REQUIREMENT FOR SECONDARY [EMERGENCY OVERFLOW] DRAINS OR SCUPPERS FOR ROOFS WHICH PROVIDE FOR POSITIVE ROOF DRAINAGE. EXISTING SECONDARY DRAINS OR SCUPPERS SHALL NOT BE REMOVED.

705.2.1: ROOF RECOVER - INSTALL IN ACCORDANCE WITH MFG. APPROVED INSTALLATION

IO BUILDING CODI BC CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION

A-3 COMMUNITY CENTER OBC CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA EXISTING [NO CHANGE] BUILDING AREA:

1-STORY EXISTING [NO CHANGE] BUILDING HEIGHT: OBC CHAPTER 6: TYPES OF CONSTRUCTION CONSTRUCTION TYPE: II B

ROOF CONSTRUCTION = 0 HOUR RATED EXISTING BUILDING CONSTRUCTION:

STRUCTURE: LOAD BEARING MASONRY WALLS, STEEL STRUCTURE. EXTERIOR WALLS: LOAD BEARING MASONRY WALLS PARTITION WALLS: CMU ROOF DECK: METAL DECK

OBC CHAPTER 15: ROOFTOP ASSEMBLIES AND ROOFTOP STRUCTURES ABLE 1505.1: FIRE CLASSIFICATION: II B CONSTRUCTION -MIN. CLASS C, ACTUAL CLASS A

NTERNATIONAL ENERGY CONSERVATION CODE

ABLE C402.1.3: THERMAL ENVELOPE INSULATION R-VALUE METHOD NSULATION ABOVE ROOF DECK, CLIMATE ZONE 5 = R-30 CI ROOF RECOVER = NOT APPLICABLE

C503.1: ALTERATIONS TO ANY BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF C503. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING IS NOT LESS CONFORMING TO THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING WAS PRIOR TO THE ALTERATION. ALTERATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM, OR PORTION THEREOF SHALL CONFIRM TO THE PROVISIONS OF THIS CODE AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE. EXCEPTION 4: ROOF RECOVER

ROOF SYSTEM DESIGN WIND-LOAD ANALYSIS

ENGINEERED DESIGN BASED UPON 2024 OHIO BUILDING CODE AND ASCE 7-16 WIND DESIGN UPLIFT PRESSURES [ASD]. COMPONENTS AND CLADDING: **BUILDING HEIGHT: 15**

BASIC WIND SPEED: 105 MPH

BUILDING CONFIGURATION: ENCLOSED. EXPOSURE: 'C'

RISK CATEGORY: II

| SIGN WIND UPLIFT LOADS [ASD] | |
|---------------------------------------|-----------|
| ZONE 1 ¹ [INTERIOR FIELD]: | -13.2 PSF |
| ZONE 1 [EXTERIOR FIELD] | -22.9 PSF |
| ZONE 2 [PERIMETER]: | -30.3 PSF |
| ZONE 3 [CORNERS]: | -41.2 PSF |

ESIGN UPLIFT-RESISTANCE CAPACITY FACTOR OF SAFETY OF 2, FROM [ASD] INDICATED ABOVE]

| ZONE 1 ¹ [INTERIOR FIELD]: | -26.5 PSF |
|---------------------------------------|-----------|
| ZONE 1 [EXTERIOR FIELD] | -45.9 PSF |
| ZONE 2 [PERIMETER]: | -60.5 PSF |
| ZONE 3 [CORNERS]: | -82.5 PSF |
| | |

NAILER ATTACHMENT: ANSI/SPRI/FM-4435/ES-1 SEE SPECIFICATIONS SEE SPECIFICATIONS

-60.5 PSF

| METAL COPING / EDGE: |
|---------------------------------|
| DESIGN WIND-RESISTANCE CAPACITY |
| ZONE 2 [PERIMETER, VERTICAL] |
| ZONE 3 [CORNERS, VERTICAL] |
| |

-82.5 PSF ZONE 4 [PERIMETER, HORIZONTAL] -31.2 PSF ZONE 5 [CORNERS, HORIZONTAL] -38.6 PSF

- MAINTENANCE SHOP
- THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED

IMPROVEMENTS TO ROOFTOP BUILDING COMPONENTS. NO CHANGES TO EGRESS

COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

PRIMARY ROOF DRAINAGE IS ACCOMPLISHED BY THRU INTERNAL ROOF DRAINS. NO SECONDARY ROOF DRAINAGE EXISTS. NO CHANGES ARE PLANNED FOR EXISTING PRIMARY DRAINAGE SYSTEMS. ALL DRAINAGE SYSTEMS ARE PROPERLY SIZED.

AUTHORITY HAVING JURISDICTION

ZONING PERMIT - CITY OF MORAINE **BUILDING PERMIT - CITY OF MORAINE**

BUILDING CODE

2024 OHIO EXISTING BUILDING CODE [OEBC] 2024 OHIO BUILDING CODE [OBC]

2021 INTERNATIONAL ENERGY CONSERVATION CODE [IECC 2021]

OHIO EXISTING BUILDING CODE

01.3.2: WORK AREA COMPLIANCE METHOD [REFER TO 302-309 AND CH. 6-12] 602.2: ALTERATION - LEVEL 1 [REFER TO CH. 7]

- 705.1: REFER TO CHAPTER 15 OF OHIO BUILDING CODE ROOF REPLACEMENT OR ROOF RECOVER OF EXISTING LOW SLOPE ROOF COVERINGS SHALL NOT BE REQUIRED TO MEET MINIMUM DESIGN SLOPE OF 1/4" PER 12", FOR ROOFS WHICH PROVIDE POSITIVE DRAINAGE.
- RECOVERING OR REPLACING AN EXISTING ROOF COVERING SHALL NOT BE REQUIRED TO MEET THE REQUIREMENT FOR SECONDARY [EMERGENCY OVERFLOW] DRAINS OR SCUPPERS FOR ROOFS WHICH PROVIDE FOR POSITIVE ROOF DRAINAGE. EXISTING SECONDARY DRAINS OR SCUPPERS SHALL NOT BE REMOVED.

OHIO BUILDING CODE

DBC CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION USE GROUP: B / S-1 - OFFICES / SHOP OBC CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA BUILDING AREA: EXISTING INO CHANGF1 EXISTING [NO CHANGE] BUILDING HEIGHT: 1-STORY EXISTING [NO CHANGE]

OBC CHAPTER 6: TYPES OF CONSTRUCTION CONSTRUCTION TYPE: II B ROOF CONSTRUCTION = 0 HOUR RATED

EXISTING BUILDING CONSTRUCTION: STRUCTURE: LOAD BEARING MASONRY WALLS, STEEL STRUCTURE. EXTERIOR WALLS: LOAD BEARING MASONRY WALLS PARTITION WALLS: CMU ROOF DECK: METAL DECK

C CHAPTER 15: ROOFTOP ASSEMBLIES AND ROOFTOP STRUCTURES ABLE 1505.1: FIRE CLASSIFICATION: II B CONSTRUCTION -MIN. CLASS C, ACTUAL CLASS A

NTERNATIONAL ENERGY CONSERVATION CODE

PROPOSED = R-30.4 [AVERAGE R]

METAL COPING / EDGE:

ABLE C402.1.3: THERMAL ENVELOPE INSULATION R-VALUE METHOD INSULATION ABOVE ROOF DECK, CLIMATE ZONE 5 = R-30 CI FXISTING = R-21

C402.1.4.1.1: TAPERED, ABOVE DECK INSULATION BASED ON THICKNESS: WHERE JSED AS A COMPONENT OF MAXIMUM ROOF ASSEMBLY U-FACTOR CALCULATION, THE SLOPED ROOF INSULATION R-VALUE CONTRIBUTION TO THAT CALCULATION TO USE THE AVERAGE THICKNESS IN INCHES ALONG WITH THE MATERIAL R-VALUE PER INCH.

C402.2.1.2: MINIMUM THICKNESS: THE MINIMUM THICKNESS OF ABOVE DECK ROOF INSULATION AT ITS LOWEST POINT, GUTTER EDGE, ROOF DRAIN, OR SCUPPER SHALL NOT BE LESS THAN 1 C503.1: ALTERATIONS TO ANY BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF C503. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING IS NOT LESS CONFORMING TO THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING

NAS PRIOR TO THE ALTERATION. ALTERATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM, OR PORTION THEREOF SHALL CONFIRM TO THE PROVISIONS OF THIS CODE AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE.

C503.2.1: ROOF REPLACEMENT: COMPLY WITH C402.1.3, C402.1.4, C402.1.5, OR C407 WHERE THE EXISTING ROOF ASSEMBLY IS PART OF THE THERMAL ENVELOPE AND CONTAINS INSULATION ENTIRELY ABOVE THE ROOF DECK. IN NO CASE SHALL THE R-VALUE OF THE ROOF INSULATION BE REDUCED AS PART OF THE ROOF REPLACEMENT.

| ROOF SYSTEM DESIGN WIND-LOAD ANALY ENGINEERED DESIGN BASED UPON 2024 C DESIGN UPLIFT PRESSURES [ASD]. COMPONENTS AND CLADDING: | <u>SIS:</u> HIO BUILDING CODE AND ASCE 7-16 WIN |
|---|--|
| BUILDING HEIGHT: 20' | |
| BASIC WIND SPEED: 105 MPH | |
| BUILDING CONFIGURATION: ENCLOS | SED. |
| | |
| RISK CATEGORY: II | |
| DESIGN WIND UPLIFT LOADS [ASD] | |
| ZONE 1 ¹ [INTERIOR FIELD]: | -14.1 PSF |
| ZONE 1 [EXTERIOR FIELD] | -24.5 PSF |
| ZONE 2 [PERIMETER]: | -32.3 PSF |
| ZONE 3 [CORNERS]: | -44.0 PSF |
| DESIGN UPLIFT-RESISTANCE CAPACITY [FACTOR OF SAFETY OF 2, FROM [ASD] INE | ICATED ABOVE] |
| ZONE 1 ¹ [INTERIOR FIELD]: | -28.2 PSF |
| ZONE 1 [EXTERIOR FIELD] | -48.9 PSF |
| ZONE 2 [PERIMETER]: | -64.6 PSF |
| ZONE 3 [CORNERS]: | -87.9 PSF |
| | |

NAILER ATTACHMENT: ANSI/SPRI/FM-4435/ES-1 SEE SPECIFICATIONS SEE SPECIFICATIONS DESIGN WIND-RESISTANCE CAPACITY ZONE 2 [PERIMETER, VERTICAL] -64.6 PSF ZONE 3 [CORNERS, VERTICAL] -87.9 PSF

ZONE 4 [PERIMETER, HORIZONTAL] -33.3 PSF ZONE 5 [CORNERS, HORIZONTAL] -41.2 PSF MAINTENANCE SHOP

> PAYNE REC CENTER

ABBREVIATIONS ALU APF ATC

EXP

| 0 | DEGREES | FD | FLOOR DRAIN | R / RAD | RADIUS |
|------------|------------------------------|----------|---------------------------|---------|---------------------------|
| ± | PLUS OR MINUS | FDN | FOUNDATION | RA | RETURN AIR |
| ¥ | NOT EQUAL | FE | FIRE EXTINGUISHER | RB | RUBBER BASE |
| ø | DIAMETER | FFC | FIRE EXTINGUISHER CABINET | RD | ROOF DRAIN |
| 2 | ANGLE | FF | FINISH FLOOR | REF | REFRIGERATOR |
| <u>ک</u> | | EIN | | | PEINEOPOE |
| ¥. | | | | | |
| ۲ | PROPERTY LINE | FRI | | REQU | |
| | | FSE | FOOD SERVICE EQUIPMENT | REQ'MI | REQUIREMENT[S] |
| ABV | ABOVE | FTG | FOOTING | REV | REVISION |
| ADA | | FV | FIELD VERIFY | RO | ROUGH OPENING |
| | AUCESSIBLT / AUCESSIBILITT - | <u> </u> | CALLOF | | RIGHT OF WAT |
| | ANSI ICC-117.1-2009 | GA | GAUGE | 0.41.17 | 0.41.1/4.055 |
| AFF | ABOVE FINISH FLOOR | GALV | GALVANIZED | SALV | SALVAGED |
| ALT | ALTERNATE | GC | GENERAL CONTRACTOR | SF | SQUARE FEET |
| ALUM | ALUMINUM | GYP | GYPSUM | SIM | SIMILAR |
| APPROX | APPOXIMATE | GYP BD | GYPSUM BOARD | SM | SHEET METAL |
| ATC | ACOUSTIC TILE CEILING | | | SPEC | SPECIFICATION |
| | | HB | HOSE BIBB | SQ | SQUARE |
| BET/BETWN | I BETWEEN | HM | HOLLOW METAL | SS | STAINI ESS STEEL |
| BLKG | | HOP | | STD | STANDARD |
| DLKG | | | | STD | |
| BRG | BEARING | | | SIL | STEEL |
| BSMI | BASEMENT | HVAC | HEATING, VENTILATION, AIR | _ | |
| BTM | BOTTOM | | CONDITIONING | Т | TEMPERED |
| | | | | TBD | TO BE DETERMINED |
| CIP | CAST IN PLACE | INT | INTERIOR | T&B | TOP AND BOTTOM |
| CJ | CONTROL JOINT | | | T&G | TONGUE AND GROOVE |
| CI | CENTERI INE | JB | JUNCTION BOX | TO | TOP OF |
| | CEILING | 02 | | TR | TREATED |
| | | 11 | | | TYPICAL |
| | | | | I I F | TIFICAL |
| CMU | | | | | |
| COL | COLUMN | | | UFAS | |
| CONC | CONCRETE | LTL | LINTEL | | STANDARD |
| CONT | CONTINUOUS | | | UNO | UNLESS NOTED OTHERWISE |
| CPT | CARPET | MAX | MAXIMUM | UL | UNDERWRITER'S LABORATORY |
| СТ | CERAMIC TILE | MECH | MECHANICAL | | |
| | | MFR | MANUFACTURER | VB | VAPOR BARRIER |
| DEMO | DEMOLISH / DEMOLITION | MIN | MINIMUM | VERT | VERTICAL |
| DE | | MISC | MISCELLANEOUS | | |
| | DIAMETER | MO | MASONRY OPENING | ۱۸// | МІТН |
| | | MS | | | |
| | | | | | WOOD |
| DIV | DIVISION | | MOUNTED | WD | WOOD |
| DP | DEEP | MIL | METAL | W.P. | WORK POINT |
| DS | DOWNSPOUT | | | WRB | WEATHER RESISTIVE BARRIER |
| DTL | DETAIL | NIC | NOT IN CONTRACT | WWF | WELDED WIRE FABRIC |
| DW | DISHWASHER | NOM | NOMINAL | | |
| DWG | DRAWING | NTS | NOT TO SCALE | | |
| FA | FACH | 00 | ON CENTER | | |
| | | OH OH | OVERHEAD | | |
| EERO | | | | | |
| | | | | | |
| EIFS | EATERIUR INSULATION FINISH | UPP | OFFUSILE | | |
| E 1 | | | | | |
| | | | | | |
| ELEC | | | | | |
| ELEV | ELEVATION / ELEVATOR | PID | PAINTED | | |
| EQ | EQUAL | | | | |
| EQUIP | EQUIPMENT | QT | QUARRY TILE | | |
| EX | EXISTING | QTY | QUANTITY | | |

FXPANSION







| Project N 2022- | Number 156 |
|--|--|
| Date Marc | h 29, 2024 |
| Date 02.12.24 03.25.24 03.29.24 | Issue Review Set Bid / Construction Se |
| Sheet Tit Proied | le at Title Sheet |



GENERAL PROJECT REQUIREMENTS

- SECTION 01 00 00: GENERAL REQUIREMENTS 1. INTENT: THE INTENT OF THESE DOCUMENTS IS TO ACCOMPLISH ROOF REPLACEMENT / RECOVER PROJECTS AT PAYNE RECREATION CENTER, GERHARDT CIVIC CENTER, AND THE MAINTENANCE SHOP FOR THE CITY OF MORAINE
- 2. <u>PERMITS</u>:
- 2.1. CONFORM TO THE 2024 OHIO BUILDING CODE, AND ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES HAVING THE AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- 2.2. VERIFY ALL PERMITS HAVE BEEN APPROVED BY APPROPRIATE AGENCIES PRIOR TO START OF CONSTRUCTION. NO CONSTRUCTION OR FABRICATION OF ANY ITEMS SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY DOCUMENTATION FROM ALL OF THE PERMITTING AND REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY AN REGULATORY AUTHORITY.
- 2.3. PAY FOR ALL REQUIRED PERMITS. WORK SHALL NOT BEGIN UNTIL
- ALL NECESSARY PERMITS ARE OBTAINED. 2.4. ARCHITECT IS NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM WORK STARTED PRIOR TO OBTAINING ALL PERMITS / GOVERNING AGENCIES APPROVALS.
- 2.5. MAINTAIN A COPY OF APPROVED PERMIT DRAWINGS ON-SITE FOR INSPECTION PURPOSES. COORDINATE WITH BUILDING DEPARTMENT. 2.6. NOTIFY THE BUILDING DEPARTMENT WHEN WORK IS READY FOR
- INSPECTION. FOLLOW ALL REQUIREMENTS OF BUILDING DEPARTMENT. PROVIDE ACCESS FOR ALL INSPECTORS.
- 2.7. MAINTAIN RECORDS OF INSPECTIONS ON THE JOB SITE IN ACCORDANCE WITH REQUIREMENTS OF BUILDING DEPARTMENT.
- INSPECTIONS MADE BY OWNER OR IT'S AGENTS.
- 2.9. COMPLETE ALL WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.
- TRASH / DEBRIS: PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. KEEP JOB SITE CLEAN DURING CONSTRUCTION. PROMPTLY REMOVE ALL DEBRIS ON A DAILY BASIS FROM SITE IN A LEGAL MANNER. ENSURE THAT ALL DEBRIS AND MATERIALS LOCATED ON THE ROOF ARE PROPERLY SECURED / STRAPPED DOWN. DO NOT LEAVE ANY DEBRIS ON THE GROUNDS AROUND THE BUILDING AT ANY

4. <u>FINAL CLEANING</u>: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION AND TURN OVER OF THE PROJECT.

5. CONSTRUCTION SAFETY: PROVIDE, MAINTAIN, AND COMPLY WITH ALL APPLICABLE SAFETY REQUIREMENTS IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS.

- 5.1. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE. MAINTAIN ALL REQUIRED PATHS OF EGRESS DURING CONSTRUCTION. PROVIDE PROTECTIVE BARRICADES AND BARRIERS AT BUILDING ENTRANCES AND PUBLIC SIDEWALKS, DRIVEWAYS, ETC. AS NECESSARY TO MAINTAIN SAFE INGRESS/EGRESS. PROVIDE PROTECTION FROM DAMAGE TO WALLS / WINDOW SYSTEMS, ETC. BELOW THE WORK AREAS. 5.2. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY
- TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY. 5.3. ERECT BARRICADES AT ENTRANCES AND AROUND ACCESS POINTS INTO THE BUILDING INDICATING "MEN WORKING OVERHEAD" LIMIT ACCESS WHERE THERE IS THE POTENTIAL FOR FALLING DEBRIS OR
- OTHER HAZARDS. PROVIDE GROUND CREW AS REQ'D TO SUPPLEMENT SAFETY ON AN AS NEEDED BASIS. 5.4. PROVIDE AND MAINTAIN A COMPLETE SET OF SAFETY DATA SHEETS [SDS] FOR ALL MATERIALS USED ON THE PROJECT ON THE PROJECT
- SITE 6. <u>FIRE PREVENTION</u>: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES. CONFORM TO OWNER AND FIRE DEPARTMENT REQUIREMENTS.
- 7. <u>TEMPORARY UTILITIES</u>:
- 7.1. UTILIZE EXISTING ELECTRIC SERVICE, WATER, AND HVAC IF AVAILABLE.
- 7.2. PROVIDE TEMPORARY LIGHTING FOR CONSTRUCTION PURPOSES. 7.3. PROVIDE TEMPORARY VENTILATION. FILTRATION MEDIA. ETC. AS REQ'D TO PROPERLY VENTILATE THE CONSTRUCTION AREA AS WELL AS TO PREVENT DUST, DIRT, DEBRIS FROM ENTERING OTHER
- PORTIONS OF THE FACILITY. 7.4. PROVIDE PORTABLE TOILET FACILITIES FOR CONSTRUCTION PURPOSES.
- 8. PRODUCTS: 8.1. INSTALL ALL MATERIALS, EQUIPMENT, FLASHING, TERMINATIONS, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS. AND INSTRUCTIONS. WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM. BY THE NATURE OF THE WORK, IT IS DIFFICULT TO IDENTIFY ALL POSSIBLE DETAIL CONDITIONS, REQUIRED FLASHINGS, ETC. COORDINATE ALL APPLICABLE DETAILS WITH THE MANUFACTURER
- FOR ACCEPTANCE. 8.2. CLIENT / OWNER TO COORDINATE AND SELECT ALL FINAL FINISHES / SELECTIONS. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
- 8.3. ITEMS MAY BE REFERRED TO AS SINGULAR, OR PLURAL ON THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO DETERMINE
- QUANTITY OF EACH ITEM REQUIRED. 9. <u>COORDINATION:</u>
- 9.1. COORDINATE ALL SPECIFIC WORK / SCOPE ITEMS WITH CLIENT. 9.2. COORDINATE ALL WORK / SCOPE BETWEEN SUB-CONTRACTORS, SUPPLIERS, AND VENDORS BASED ON THE ENTIRE SET OF DOCUMENTS. PROVIDE ANY REQ'D ADAPTATIONS TO ACCOMMODATE FIELD CONDITIONS PRIOR TO ORDERING, FABRICATION, OR INSTALLATION.
- 9.3. PROVIDE FULL SET OF CONSTRUCTION DOCUMENTS TO ALL SUB-CONTRACTORS. 9.4. NO ADDITIONAL COMPENSATION TO CONTRACTOR FOR ISSUES
- RESULTING FROM THE USE OF AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. 9.5. NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ERRORS, OMISSIONS, INCONSISTENCIES, OR DISCREPANCIES BETWEEN
- CONTRACT DOCUMENTS, DRAWINGS, SPECIFICATIONS, ETC. PRIOR TO PROCEEDING WITH WORK. ANY SITE / JOB CONDITIONS THAT ARISE AND CAUSE CONTRACTOR TO VARY FROM CONTRACT DOCUMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR IF NOT REPORTED TO ARCHITECT PRIOR TO PROCEEDING. 9.6. DO NOT SCALE DRAWINGS. ANY / ALL DIMENSIONS INDICATED ARE
- APPROXIMATE AND SUBJECT TO FIELD VERIFICATION. REFER TO DRAWINGS FOR ANY SPECIAL NOTES THAT MAY GOVERN THE LAYOUT OF THE WORK 9.7. "N.I.C." INDICATES WORK AND / OR MATERIALS NOT IN THE CONTRACT OF THE CONTRACTOR. THIS DOES NOT RELIEVE THE CONTRACTOR
- OF ALL ASPECTS OF COORDINATION. 9.8. EXAMINE AND BECOME FAMILIAR WITH SITE AND JOB CONDITIONS PRIOR TO START OF WORK. VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, INFORMATION IN THE DRAWINGS, AVAILABLE UTILITIES, ETC. GOVERNING THEIR SCOPE OF THE WORK. NOTIFY ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS. COMMENCEMENT OF
- WORK IMPLIES ACCEPTANCE OF CONDITIONS. 9.9. CONTACT CLIENT OR ARCHITECT REGARDING ALL QUESTIONS OR DISCREPANCIES. COMMUNICATION WITH ARCHITECT'S CONSULTANTS OR OTHERS IS NOT CONSIDERED VALID AND ANY RESULTANT CHANGES IN WORK, ADDITIONAL COSTS, APPROVALS, PERMITS, ETC.
- IS THE CONTRACTOR'S RESPONSIBILITY. 9.10. ARCHITECT IS NOT RESPONSIBLE FOR QUALITY OR QUANTITY OF WORK, FIELD INSPECTIONS, REVIEWING CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING, PROCEDURES, PAYMENT APPLICATIONS, OR TO DETERMINE THE DISTRIBUTIONS OF FUNDS, FTC.
- 9.11. CONTRACT DOCUMENTS, DRAWINGS, OR DETAILS IN THIS SET MAY INDICATE TYPICAL CONDITIONS WHICH MAY VARY FROM ACTUAL CONSTRUCTION. COORDINATE CONDITIONS / DETAILS WITH CLIENT.

- 2.8. PAY ALL FEES REQUIRED BY INSPECTIONS, EXCEPT FOR

- 10. OCCUPANCY: BUILDINGS WILL BE OCCUPIED DURING CONSTRUCTION FOR ON-GOING OPERATIONS. COORDINATE CONSTRUCTION ACTIVITIES WITH OWNER AND THE PROJECT TEAM TO MINIMIZE THE IMPACT ON THE OCCUPANTS - REFER TO SPECIFICATIONS. INCLUDE ANY ADDITIONAL COSTS FOR PROJECT SCHEDULING AS INDICATED HEREIN AND WITHIN SPECIFICATIONS.
- TEMPORARY WEATHERTIGHTNESS / WEATHER SEAL: AT THE END OF EACH WORK DAY, COMPLETE ALL WORK IN SUCH A MANNER TO BE ADEQUATELY SEALED WATERTIGHT TO EITHER EXISTING ROOF SYSTEMS OR PROPER FLASHINGS / TERMINATIONS AS IS APPLICABLE TO THE WORK. TAKE ALL PROVISIONS TO MINIMIZE ANY LEAKS INTO THE BUILDING.
- 11.1. ONLY LAY OUT THE AMOUNT OF MATERIALS WHICH CAN BE INSTALLED WATERTIGHT THAT DAY. NO TEMPORARY ROOFING / LOOSE MEMBRANE, ETC. PERMITTED.
- 12. CONTRACTOR'S USE OF JOB SITE: 12.1. WORK HOURS: COORDINATE WITH OWNER.
- 12.2. ACCESS: PROVIDE ROOF ACCESS VIA CONTRACTOR PROVIDED PORTABLE LADDERS, SCAFFOLDING, OR MAN-LIFTS. ROOF ACCESS FROM THE INTERIOR OF THE BUILDING MAY NOT BE PERMITTED BY OWNER. ASSUME NO DIRECT ACCESS WILL BE PROVIDED TO OTHER AREAS OF THE INTERIOR OF THE BUILDING UNLESS SPECIFICALLY APPROVED AND COORDINATED BY THE OWNER.
- 12.3. PROVIDE ALL NECESSARY CRANES, MAN-LIFTS, CHUTES, ETC. FOR THE PROPER EXECUTION OF THE WORK. 12.4. PROVIDE CHUTE FOR ALL TRASH / DEBRIS REMOVAL UNLESS SO
- REMOVED VIA A CRANE. 12.5. THROWING DEBRIS OFF THE ROOF IS NOT PERMITTED.
- 12.6. PROJECT STAGING AREA: AT OWNER DIRECTION 12.7. PROVIDE ON-SITE SECURABLE CONSTRUCTION MATERIALS STORAGE AND TRASH DUMPSTER FOR THE PROJECT. LOCATE IN AN APPROVED
- LOCATION, COORDINATE WITH THE OWNER. PROVIDE ALL NECESSARY / REQUIRED SECURITY/PROTECTION MEASURES.
- 12.8. PARKING: AT OWNER DIRECTION 13. CLOSEOUT REQUIREMENTS
- 13.1. AS-BUILT / RECORD DRAWINGS: MAINTAIN A RED-LINE COPY OF AS-BUILT / RECORD DRAWINGS INDICATING FIELD CHANGES, HIDDEN/CONCEALED UTILITIES, AND OTHER PERTINENT DEVIATIONS FROM THE APPROVED CONSTRUCTION DOCUMENTS.
- 13.2. OPERATIONS AND MAINTENANCE DATA: PROVIDE O+M MANUAL TO CLIENT / OWNER WITH ALL PERTINENT SELECTIONS, SYSTEMS, PROJECT DOCUMENTS, AND CERTIFICATES.
- 13.3. STARTING OF SYSTEMS / DEMONSTRATION: DEMONSTRATE THE OPERATION AND MAINTENANCE OF INSTALLED PRODUCTS AND SYSTEMS TO CLIENT / OWNER PRIOR TO TURN OVER OF THE PROJECT.
- 13.4. TESTING, ADJUSTING, BALANCING: TEST AND BALANCE SYSTEMS AS REQUIRED FOR SMOOTH AND UNHINDERED OPERATION.

SECTION 02 41 19 EXISTING CONDITIONS / SELECTIVE DEMOLITION 1. NOTIFY ARCHITECT AND CLIENT IF ANY PART OR PARTS OF THE EXISTING

- BUILDING STRUCTURE SHOW SIGNS OF ROTTING, VANDALISM, WATER DAMAGE, PEST DAMAGE, OR OTHER DAMAGE / FAILURE / DETERIORATION WHICH MAY CAUSE THE PART / PARTS / BUILDING TO NOT MEET APPLICABLE BUILDING CODES, COMPROMISE SAFETY, CREATE RISK OF FAILURE, OR NOT MEET STANDARD BUILDING PRACTICES.
- 2. VERIFY EXISTING STRUCTURE HAS CAPACITY TO SUPPORT NEW NEW CONSTRUCTION WHERE INDICATED TO BE SUSPENDED FROM THE EXISTING STRUCTURE.
- 3. VERIFICATION OF EXISTING CONDITIONS / ACCEPTANCE OF CONDITIONS
- 3.1. VERIFY ALL CONDITIONS, DIMENSIONS, ELEVATIONS, SLOPES, DETAILS, DRAINS, PENETRATIONS, AND INTERRELATED INFORMATION IN THESE DRAWINGS FOR ACCURACY AS SHOWN WITH THE INTENT OF THESE DRAWINGS PRIOR TO THE START OF WORK. REPORT ANY CONCEALED ELEMENTS OR DIFFERING CONDITIONS WHICH MAY AFFECT CONSTRUCTION TO THE ARCHITECT.
- 3.2. VERIFY EXISTING DECK SURFACES AND SLOPES PRIOR TO INSTALLATION OF INSULATION / TAPERED INSULATION, ETC. TAKE ALL PROVISIONS TO ENSURE PROPER DRAINAGE INCLUDING STRING LEVELING THE DECK. ETC. TO DETERMINE ANY IRREGULARITIES. BELLY, RIDGE, ETC. THAT MAY AFFECT THE PROPER FLOW OF WATER TO THE DRAINAGE SYSTEM.
- 3.3. VERIFY THE CONDITION OF ALL EXISTING DRAINAGE SYSTEM COMPONENTS [INTERNAL ROOF DRAINS, SCUPPERS, GUTTERS, ETC.]. NOTIFY ARCHITECT OF ANY REPAIRS THAT ARE REQUIRED SUCH AS BROKEN DRAIN BOLTS, CLAMPING RINGS, ETC. ALL DRAINS REQUIRE NEW FLASHING AND ANY COMPONENTS TO MAKE / MAINTAIN THEM OPERATIONAL.
- 3.4. VERIFY ALL DRAINAGE SYSTEMS ARE FREE-FLOWING AND DRAINING PROPERLY. ADDRESS AND UN-CLOG ANY DRAINAGE SYSTEMS WHICH BECOME CLOGGED DURING COURSE OF THE WORK AT THE CONTRACTOR'S EXPENSE.
- 3.5. TAPERED INSULATION OR CRICKET / SADDLE LAYOUT AS SHOWN PROVIDES A GUIDE [AS APPLICABLE], FOLLOW THE INTENT OF THE DRAWINGS, ONLY SLIGHT ADJUSTMENTS SHALL BE MADE. ACTUAL INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED MANUFACTURERS SCALED LAYOUT.
- 4. PROTECTION / CUTTING AND PATCHING
- 4.1. PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED BY WORK
- 4.2. PROVIDE ALL LEVELING, PATCHING, AND REMEDIAL REPAIRS AS REQUIRED BY THE SCOPE OF WORK. REPAIRS INCLUDE, BUT ARE NOT LIMITED TO, WORK REQUIRED TO PROVIDE A SMOOTH AND EVEN TRANSITION BETWEEN NEW AND EXISTING FINISHES AND TO
- PREPARE EXISTING SURFACES FOR NEW FINISHES. 4.3. REMOVE ALL UNUSED VENT PIPES, EQUIPMENT SUPPORTS, ETC. COORDINATE WITH THE OWNER.
- 4.4. ENSURE THAT ALL PENETRATIONS ARE PROPERLY SUPPORTED BELOW THE DECK.
- 4.5. CHECK FOR ROOFTOP CONDUITS, OBSTRUCTIONS, ETC. UNDER DECK PRIOR TO APPLICATION OF INSULATION, MECHANICAL FASTENING, ETC.. COORDINATE ACCESS TO BELOW ROOF DECK WITH OWNER. 4.6. REMOVE AND REINSTALL EXISTING CONDUITS/CABLING, ETC. AS
- REQUIRED TO INSTALL NEW ROOF SYSTEM 4.7. TAKE ALL MEASURES NECESSARY TO MINIMIZE DUST/DIRT/DEBRIS FROM ENTERING INTERIOR PORTIONS OF THE BUILDING. PROVIDE ALL TEMPORARY PROTECTION REQ'D.
- 4.8. COORDINATE ALL WORK TO MINIMIZE DISTURBANCE TO THE BUILDING OCCUPANTS.
- 4.9. COORDINATE SHUT DOWN OF HVAC / VENTILATION SYSTEMS, ELECTRICAL COMPONENTS, ETC. A MINIMUM OF 48 HOURS PRIOR TO ANY DISRUPTION OF SERVICE.
- 4.10. DISCONNECT AND RECONNECT ALL HVAC EQUIPMENT INCLUDING ELECTRICAL CONNECTION, REFRIGERANT PIPING, ETC. AS REQUIRED. PROVIDE OWNER A 48 HOUR NOTICE PRIOR TO PERFORMING THIS WORK
- 4.11. PROVIDE ADEQUATE PROTECTION FROM VAPORS, FUMES, SMELL, ETC. FROM ENTERING THE BUILDING TO THE BEST OF THEIR ABILITY. PROVIDE PROTECTION OF EXISTING SYSTEMS AS REQUIRED, COORDINATE WITH THE OWNER.
- 4.12. FIT WORK TIGHT TO ADJACENT ELEMENTS. MAINTAIN INTEGRITY OF ROOF DECK, WALL, OR OTHER CONSTRUCTION, COMPLETELY SEAL VOIDS.
- 4.13. REFINISH SURFACES TO MATCH ADJACENT FINISHES, UNLESS NOTED OTHERWISE. 4.14. SALVAGED ITEMS: COORDINATE W/ CLIENT / OWNER.
- HAZARDOUS MATERIALS: FOLLOW ALL APPLICABLE REQUIREMENTS RELATED TO THE REMOVAL / ABATEMENT OF EXISTING CONSTRUCTION AS HAVE BEEN IDENTIFIED. PROPERLY DISPOSE OF ANY HAZARDOUS MATERIALS. MAINTAIN ALL REQUIRED CERTIFICATIONS.

MECHANICAL FASTENING ATTACHMENT REQUIREMENTS ZONE 1^{1.} INTERIOR FIELD 12 FASTENERS / 4' x 8' BOARD ZONE 1: EXTERIOR FIELD 12 FASTENERS / 4' x 8' BOARD ZONE 2: PERIMETER 18 FASTENERS / 4' x 8' BOARD

ZONE 3: CORNERS

32 FASTENERS / 4' x 8' BOARD THE INDICATED MECHANICAL ATTACHMENT RATES ARE THE MINIMUM REQUIREMENTS PER

MANUFACTURER TESTING RESULTS. THE CONTRACTOR SHALL CONFIRM WITH THE MANUFACTURE FACTORY MUTUAL GLOBAL SYSTEM ASSEMBLY [IF APPLICABLE] TO ENSURE THE ACTUAL SYSTEM INSTALLED PER THEIR REQUIREMENTS TO MEET THE SPECIFIED WARRANTY [INCLUDING WIND] REQUIREMENTS. THIS SHALL BE ACCOMPLISHED PRIOR TO SUBMITTING FOR BIDS AND ANY DEVIAT SHALL BE INCLUDED IN THE BID AMOUNT.

ADHESIVE ATTACHMENT REQUIREMENTS 12" O.C. BEADS OF ADHESIVE [4' x 4' BOARD SIZE]

| ONE 1 ¹ : ONE 1: | INTERIOR FIELD | |
|--------------------------------|----------------------|--|
| ONE 2: ONE 3: | PERIMETER CORNERS | |

6" O.C. BEADS OF ADHESIVE [4' x 4' BOARD SIZE] 4" O.C. BEADS OF ADHESIVE [4' x 4' BOARD SIZE]

12" O.C. BEADS OF ADHESIVE [4' x 4' BOARD SIZE]

THE INDICATED ADHESION RATES ARE THE MINIMUM REQUIREMENTS PER MANUFACTURER TESTIN RESULTS. THE CONTRACTOR SHALL CONFIRM WITH THE MANUFACTURER AND FACTORY MUTUAL SYSTEM ASSEMBLY [IF APPLICABLE] TO ENSURE THE ACTUAL SYSTEM BEING INSTALLED PER THEIR REQUIREMENTS TO MEET THE SPECIFIED WARRANTY IINCLUDING WINDI REQUIREMENTS. THIS SH ACCOMPLISHED PRIOR TO SUBMITTING FOR BIDS AND ANY DEVIATION SHALL BE INCLUDED IN THE AMOUNT.

| | <u>SYMBOL</u> | LEGEND |
|-----------------------------|--------------------------------------|---|
| | SYMBOL LE NOT ALL AF WITH COND | GEND IS TYPICAL FOR ALL ROOFS / BUILDINGS. PPLY TO EACH ROOF / BUILDING. COORDINATE DITIONS AND KEY NOTES ON DRAWINGS |
| ER AND BEING | RTU | EXISTING CURB MOUNTED ROOFTOP UNIT TO REMAIN. REMOVE EXISTING, INSTALL NEW 24 GA. PRE-FINISHED METAL BIB FLASHING AT CURB AT ALL LOCATIONS WHERE EXISTING UNIT CANNOT BE LIFTED OFF |
| HON | A/C | EXISTING A/C UNIT SET ON PAD. REMOVE / RESET AS REQ'D, INCLUDING ALL DISCONNECT AND RECONNECT OF LINESETS, ELECTRICAL, ETC. INSTALL SACRIFICIAL SHEET UNDER PAD. |
| | LFF A/C LF LF | EXISTING A/C UNIT SET ON STEEL RAILS. LIQUID FLASH STEEL PIPE COLUMNS THRU THE ROOF SYSTEM. REFER TO KEY NOTES FOR ADDITIONAL INFORMATION / REQUIREMENTS. |
| IG GLOBAL R ALL BE | | EXISTING EXHAUST FAN, CURB PENETRATION, ETC. REMOVE / LIFT OFF CAP AND INSTALL NEW BASE FLASHING UP OVER TOP OF CURB. RE-SET AND RE-SECURE UNIT / CAP, ETC. WITH MIN. [2] FASTENERS PER SIDE OF CURB. INSTALL NEW 24 GA. PRE-FINISHED METAL BIB FLASHING AT CURB AT ALL LOCATIONS WHERE EXISTING UNIT CANNOT BE LIFTED OFF |
| עום | FA | NEW GRAVITY INTAKE VENT ON EXISTING CURB - GREENHECK, GRSI - REFER TO KEY NOTES FOR ADDITIONAL INFORMATION. |
| | | EXISTING ROOF HATCH TO REMAIN [REPLACE WHERE NOTED ON DRAWINGS / KEY NOTES] |
| | ■EE | EXISTING EQUIPMENT ENCLOSURE TO REMAIN, REMOVE / REINSTALL AS REQ'D TO FLASH ROOF SYSTEM. DISCONNECT, MODIFY, AND RECONNECT EXISTING LINESETS, CONDUITS, DISCONNECTS, FEEDS, ETC. AS REQ'D TO ACCOMPLISH WORK. SEAL PENETRATION AT DECK WITH LOW EXPANSION FOAM SEALANT. RE-SEAL PENETRATIONS THRU SIDES OF ENCLOSURE. |
| | ■ PP | REMOVE EXISTING, INSTALL NEW PENETRATION POCKET. FIELD FLASHING / BOOT IS ACCEPTABLE IF CONDITIONS PERMIT. SIZE PER CONDITIONS |
| | OFLUE | EXISTING FLUE / HOT STACK PENETRATION, FIELD FLASH OR LIQUID FLASH PER MFG. |
| | ۰VP | EXISTING VENT PIPE, INSTALL FLASHING BOOT / LIQUID FLASHING PER MFG. [INSTALL LIQUID FLASHING SYSTEM AT MODIFIED ROOF SYSTEM] RAISE / EXTEND VENT AS REQ'D TO INSTALL FLASHING. |
| | ■ ELEC | EXISTING ELECTRICAL CONDUIT THRU ROOF, FIELD FLASH OR LIQUID FLASH PER MFG. |
| | | EXISTING ROOF SLOPE [STRUCTURAL DECK SLOPE] |
| | < ∽∽ | ROOF SLOPE DIRECTION - NEW TAPERED INSULATION OR INSULATION SADDLES - SEE SPEC'S FOR SLOPE |
| | RD | EXISTING PRIMARY ROOF DRAIN TO REMAIN. PROVIDE ANY / ALL REPAIRS TO MAKE / MAINTAIN OPERATIONAL. NOTIFY RDA / OWNER IF EXISTING CONDITIONS WARRANT INSTALLATION OF NEW DRAIN INSERTS [CRACKED BOWL, ETC.]. INSTALL NEW 4'x4' SUMPS AT ALL PRIMARY ROOF DRAINS [FV SUMP REQUIREMENTS WITH ELEVATION OF DRAIN BOWL] [MAINTAIN EX. SUMPS AT GERHARDT CIVIC CENTER] |
| | SC 7 x 7 | EXISTING PRIMARY THRU WALL SCUPPER. RE-LINE SCUPPER WITH NEW 24 GA. STAINLESS STEEL SCUPPER LINING. EXISTING CONDUCTOR HEAD, AND DOWNSPOUT TO REMAIN. SUMP NEW ROOF SYSTEM TO MEET EXISTING SCUPPER OPENING. FLASH INTO NEW ROOF SYSTEM. SCUPPER OPENING SIZE AS NOTED. |
| | DS 6 x 6 | REMOVE EXISTING, INSTALL NEW GUTTER AND DOWNSPOUTS. FLASH INTO NEW ROOF SYSTEM. GUTTER AND DOWNSPOUT SIZES AS NOTED. |
| | DEMO | ROOFTOP COMPONENT TO BE REMOVED - ABANDONED EQUIPMENT ENCLOSURES, PENETRATION POCKETS, ETC. INFILL OPENING IN DECK AS APPROPRIATE TO CONDITIONS |
| | | NEW WALK PADS - 30x30 EPDM AT EPDM ROOFS, MODIFIED ROLL AT MODIFIED ROOFS. |
| | | EXISTING GAS PIPING - <u>PAYNE REC CENTER</u> : MODIFY EX. PIPING / RAISE +/- 3" AS REQ'D TO ACCOMMODATE NEW ROOF SYSTEM THICKNESS. THIS INCLUDES MODIFICATIONS TO AND RAISING CONNECTIONS TO ALL ROOFTOP UNITS, MODIFICATIONS TO DIRT LEGS, ETC. PREP AND PAINT ALL GAS PIPING. REMOVE ALL WOOD BLOCKS, INSTALL MOLDED PIPE SUPPORTS AT MAX. 8'-0" O.C. WITH SACRIFICIAL SHEET UNDER. <u>GERHARDT CIVIC CENTER</u> : EX. PIPING TO REMAIN. PREP AND PAINT ALL GAS PIPING. REMOVE AND RESET EXISTING MOLDED PIPE SUPPORTS, SET AT MAX. 8'-0" O.C. SPACING WITH SACRIFICIAL SHEET UNDER. REMOVE ANY WOOD BLOCKS AND INSTALL NEW MOLDED PIPE SUPPORTS. |
| | | EXISTING ELECTRICAL CONDUIT - EX. CONDUITS TO REMAIN. REMOVE WOOD BLOCKS AND INSTALL NEW MOLDED PIPE SUPPORTS AT MAX. 6'-0" O.C. WITH SACRIFICIAL SHEET UNDER. RE-ANCHOR TO WALL / PARAPET, ETC. AS APPLICABLE. |
| | ° BV | REMOVE EXISTING BREATHER VENTS |



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| Project I | Number |
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| 2022- | 156 |
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| Date | Issue |
| 02.12.24 | Review Set |
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1. VERIFY BELOW DECK CONFLICTS, COMMUNICATION WIRING, ELECTRICAL

GENERAL NOTES

- $\langle {}^{\#} \rangle$ KEY NOTES
 - REMOVE EXISTING SCREEN WALL COMPLETE INCLUDING METAL PANELS, LIGHT GAUGE METAL FRAMING STRUCTURE, STEEL STRUCTURE, ETC. REMOVE / CUT
- 2. REMOVE EXISTING PAD MOUNTED RTU COMPLETE. REMOVE PAD AND ANY

- 8. INSTALL LEVELING FILL / TAPERED INSULATION AT EXISTING LOW AREA IN ROOF
- 10. EXISTING GAS PIPING TO REMAIN. RAISE PIPING / MODIFY PIPING AS REQ'D BY NEW ROOF SYSTEM THICKNESS. DO NOT ALLOW UNINTENDED PRESSURE DEVELOP ON PIPING FROM TWISTING / RAISING OF PIPING. PREP AND PAINT EXISTING PIPING. INSTALL NEW PRE-MFG. SUPPORTS AT 8'-0" O.C. OVER
- 13. EXISTING HVAC DUCTWORK IS INSTALLED TIGHT TO STEP IN ROOF HEIGHT. INSTALL 24 GA. PRE-FINISHED METAL SKIRT FLASHING BEHIND DUCTWORK AND OVER NEW EPDM BASE FLASHING. TERMINATE BASE FLASHING TIGHT AROUND
- 15. TURN COPING UP AT STEP IN ROOF HEIGHT. TERMINATE UP UNDER COPING
- 16. TURN COPING UP / FLASH UP UNDER UPPER SECTION OF COPING AT ROOF
- 17. EXISTING RAIL CURBS TO REMAIN. INSTALL NEW 24 GA. PRE-FINISHED METAL BIB
- 18. EXISTING STEEL LEGS SUPPORTING HVAC DUCTWORK TO REMAIN. ADJUST HEIGHT/ MODIFY HEIGHT AS REQ'D FOR NEW ROOF SYSTEM THICKNESS. REMOVE EXISTING, INSTALL NEW TREATED 4x4 x 12" LONG WOOD BLOCK UNDER LEG, INSTALL SACRIFICIAL SHEET UNDER WOOD BLOCK. ALT. TO WOOD BLOCK -
- 19. EXISTING LEGS SUPPORTING HVAC EQUIPMENT ABOVE TO REMAIN. ADJUST HEIGHT / MODIFY HEIGHT OF UNI-STRUT LEG AS REQUIRED FOR NEW ROOF SYSTEM THICKNESS. REMOVE AND REINSTALL EXISTING PRE-CAST CONCRETE PAVER. INSTALL SACRIFICIAL SHEET UNDER PRE-CAST CONCRETE PAVER.



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| Project 1 2022- | Number 156 |
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A1.1



STRIP IN EPDM OVER FLANGE OF DRIP EDGE

NAIL OFF EPDM AT 6" OC INTO NAILER, EXTEND EPDM OVER FLANGE OF EX. GUTTER ----REMOVE EX., INSTALL NEW 24 GA. PRE-FINISHED METAL DRIP EDGE W/ FASTENERS AT 6" OC STAGGERED —

> INSTALL NEW GUTTER SPACERS AT 36" OC -----

REMOVE EX, INSTALL NEW 8" 24 GA. PRE-FIN. METAL GUTTER, ANCHOR TO NAILERS -

INSTALL NEW GUTTER BRACKETS AT 48" OC -STACK NEW 2x6 NAILERS OVER EX. NAILER TO MATCH NEW ROOF THICKNESS, ANCHOR NEW NAILERS TO EX. REMOVE EX., INSTALL NEW 6x6 24 GA. PRE-FIN. METAL DOWNSPOUTS, CONNECT TO EX. UNDERGROUND STORM -

EX. CONC. WALL TO REMAIN -







INSULATION, MECHANICALLY ATTACH THRU EX. INSULATION INTO METAL

ATTACHED REINFORCED EPDM

— EX. 2 3/4" POLYISO ROOF INSULATION TO REMAIN [REPLACE WET / DAMAGED IN LIKE KIND]

- EX. SLOPED METAL DECK TO REMAIN - EX. STEEL STRUCTURE TO REMAIN

12"





JONATHAN



| Project I | |
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• EX. ± 2" SLOPED LIGHTWEIGHT FILL TO - EX. SMOOTH SURFACE BUR TO REMAIN - EX. ± 1-1/2" POLYISO INSULATION TO REMAIN REMAIN. RIBS AT ± 24" OC

COPPER BATTEN

SCALE: N.T.S.

STANDING SEAM RIB CAP

- EX. COPPER BATTEN STANDING SEAM RIB CAP. REMOVE / REPLACE - 300 LF RIBS OF COPPER ROOF PANELS

REPAIR REMAINING CAPS, RESECURE / CRIMP / TONG TO USE 12 OZ COPPER

EX. COPPER ROOF PANELS TO

TO INSTALL NEW METAL COPING, EDGES, TYP. ALL AREAS 6. ALL EXPOSED TO VIEW JOINT SEALANT SHALL BE INSTALLED BY A QUALIFIED

- APPLICATOR. QUALITY OF SEALANT JOINTS WILL BE REVIEWED DURING CONSTRUCTION INCLUDING PROPER WIDTH / DEPTH RATIO, BACKER ROD, PRIMER, AND AESTHETICS - COORDINATE AS REQ'D.
- 7. INSTALL 1/4" GYPSUM / DENSDECK OR 1/2" HIGH DENSITY POLYISO COVER BOARD OVER FACE OF EXISTING PARAPET WALLS AND ROOF-WALL TRANSITIONS IF CONDITIONS DO NOT PERMIT APPLICATION OF NEW BASE FLASHING UP FACE OF
- WALL. THIS WILL BE ADDRESSED VIA FIELD CHANGE IF REQUIRED. 8. INSTALL WALKWAY PADS AROUND ALL ROOF HATCHES, ALL ROOFTOP UNITS, SERVICE LOCATIONS OF UNITS / EQUIPMENT, AND OTHER AREAS REQ'D BY THE
- ROOF MEMBRANE MFG. REFER TO ROOF PLAN. 9. VERIFY CONDITION OF EXISTING LIGHTWEIGHT FILL [LWF] AFTER REMOVAL OF EXISTING MODIFIED ROOF SYSTEM. TAKE CARE DURING REMOVAL TO NOT DAMAGE EXISTING LWF. REMOVE EXISTING LWF FOUND TO BE WET OR DAMAGED WITH NEW IN LIKE KIND, MATCHING EXISTING PROFILES / SLOPES. THICKNESS OF EXISTING LWF VARIES. INCLUDE IN BID AMOUNT AN ALLOWANCE FOR 500 SF OF

REPLACEMENT OF EXISTING LWF.

GENERAL NOTES

- 1. VERIFY BELOW DECK CONFLICTS, COMMUNICATION WIRING, ELECTRICAL CONDUITS, ETC. THAT MAY BE ATTACHED JUST BELOW THE ROOF DECK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO BELOW DECK ITEMS AND
- SUBSEQUENT REPAIRS.
- 2. INSTALL MISCELLANEOUS BLOCKING / FURRING AS REQ'D FOR FILLERS, ETC. TO ALLOW PROPER ALIGNMENT OF NEW / EXISTING CONDITIONS. 3. AT ALL EXISTING CURBS, ROOFTOP UNITS, ETC.: LIFT EXISTING UNIT OFF OF
- CURB TO ALLOW FLASHING UP AND OVER CURB. PROVIDE BLOCKING AS NECESSARY TO RAISE THE CURB ABOVE THE NEW ROOF SURFACE PER MFG. REQUIREMENTS INSTALL NEW FASTENERS TO RE-SECURE UNIT BACK IN PLACE UPON COMPLETION OF WORK [MIN. OF 2 PER SIDE]. IF UNIT CANNOT BE LIFTED OFF OF CURB, INSTALL NEW 24 GA. PRE-FINISHED METAL BIB FLASHING AT CURB.
- 4. VERIFY ALL DIMENSIONS FOR METAL EDGE, FASCIA, COPING, ETC. TO ENSURE
- NEW METAL ADEQUATELY COVERS AND OVERLAPS EXISTING JOINTS, MASONRY, EIFS, ETC. AND WILL NOT LEAVE UNFINISHED EDGES, PROFILES, SHADOWS, ETC. 5. REMOVE / REINSTALL EXISTING ELECTRICAL DEVICES, SENSORS, ETC. AS REQ'D

$\langle \# \rangle$ KEY NOTES

- 1. EXISTING STANDING SEAM COPPER ROOF SYSTEM TO REMAIN. PROTECT FROM DAMAGE. PROVIDE IN BASE BID MAINTENANCE OF THE STANDING SEAM COPPER ROOF AS FOLLOWS: REPLACE 300 LF OF EXISTING BATTEN STANDING SEAM RIB CAPS WITH NEW COPPER RIB CAPS, ANTICIPATE MULTIPLE LOCATIONS OF REPLACEMENT WITH A MINIMUM OF 4 FOOT LONG SECTION PER LOCATION. FIELD VERIFY EXISTING CONDITIONS OF ALL REMAINING RIBS AND RE-CRIMP / TONG BATTEN STANDING SEAM RIB CAPS TO RE-ENGAGE THEM TO THE RIBS, AND ENSURE THEY ARE NOT LOOSE FROM THE RIBS, TYPICAL FOR ALL ROOF AREAS. WORK INCLUDES VERTICAL FACE OF PANELS AS WELL AS SLOPED ROOF.
- 2. DISCONNECT EX. A/C UNIT AND LIFT OFF RAIL CURBS TO ALLOW INSTALLATION OF NEW ROOF SYSTEM. RESET, ANCHOR IN PLACE TO RAIL CURBS, AND RECONNECT ALL UTILITIES. COORDINATE SHUT DOWNS W/ OWNER.
- 3. REMOVE EXISTING MOTORIZED EXHAUST FAN FROM EXISTING CURB, REMOVE EXISTING ASSOCIATED ELECTRICAL BRANCH CIRCUITRY TO THE APPLICABLE J-BOX OR TERMINATION [COORD. W/ OWNER], INSTALL NEW GREENHECK GRSI GRAVITY VENT ON EXISTING CURB, F.V. CONDITIONS AND MAKE ANY ADAPTATIONS AS REQ'D TO FACILITATE WORK. EXISTING CURBS ARE +/- 28" SQUARE.
- 4. REMOVE EXISTING PENETRATION POCKET AS APPLICABLE TO REMOVAL OF MOTORIZED EXHAUST FAN.
- 5. INSTALL NEW TAPERED INSULATION SADDLES BETWEEN ROOF DRAINS. 6. EXISTING GAS PIPING TO REMAIN. RAISE PIPING / MODIFY PIPING AS REQ'D BY NEW ROOF SYSTEM THICKNESS. DO NOT ALLOW UNINTENDED PRESSURE DEVELOP ON PIPING FROM TWISTING / RAISING OF PIPING. PREP AND PAINT EXISTING PIPING. INSTALL NEW PRE-MFG. SUPPORTS AT 8'-0" O.C. OVER SACRIFICIAL SHEET.
- 7. EXISTING COPPER COPING TO REMAIN. PROTECT FROM DAMAGE. 8. EXISTING RAIL CURBS TO REMAIN. INSTALL NEW 24 GA. PRE-FINISHED METAL BIB FLASHING.
- 9. EXISTING LEGS SUPPORTING HVAC DUCTWORK TO REMAIN. ADJUST HEIGHT/ MODIFY AS REQ'D FOR NEW ROOF SYSTEM THICKNESS. INSTALL NEW 4x4 TREATED FEET WITH SACRIFICIAL SHEET UNDER.
- 10. REMOVE EXISTING, INSTALL NEW ROOF ACCESS HATCH AT EXISTING OPENING. 11. FIELD WRAP / FLASH GAS PIPING PENETRATION THRU ROOF.
- 12. BASE BID: REMOVE AND REINSTALL EXISTING SKYLIGHT SYSTEM AS REQUIRED TO INSTALL NEW ROOF SYSTEM. ADD ALTERNATE #1: REMOVE EXISTING, INSTALL NEW SKYLIGHT SYSTEM. REFER TO DETAILS FOR ADDITIONAL SCOPE. 13. ADD ALTERNATE #1: FRAME NEW END WALL TO MATCH PROFILE OF NEW SKYLIGHT SYSTEM. REFER TO DETAILS.
- 14. EXISTING MASONRY CHIMNEY. PREP AND APPLY PRIMER AND COATING SYSTEM TO ALL FACES OF MASONRY CHIMNEY. REFER TO SPECS.



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(#) KEY NOTES

- REMOVE EXISTING ROOF SYSTEM COMPLETE TO ROOF DECK, INCLUDING ALL APPLICABLE FLASHINGS. INSTALL NEW TAPERED INSULATION, COVER BOARD, AND EPDM ROOF SYSTEM AS SCHEDULED, INCLUDING ALL APPLICABLE FLASHINGS.
- 2. INSTALL NEW TAPERED INSULATION SADDLES BETWEEN ROOF DRAINS. 3. TURN COPING UP AT END OF PARAPET. INSTALL 24 GA. PRE-FINISHED METAL

GENERAL NOTES

COUNTER FLASHING OVER.

- 1. COORDINATE INSULATION STARTING THICKNESS W/ ELEVATION OF EXISTING ROOF DRAINS. ADJUST ROOF DRAIN ELEVATIONS OR TAPERED INSULATION SUMP CONFIGURATION AS REQ'D TO ACCOMMODATE NEW ROOF SYSTEM THICKNESS AT DRAINS.
- 2. VERIFY BELOW DECK CONFLICTS, COMMUNICATION WIRING, ELECTRICAL CONDUITS, ETC. THAT MAY BE ATTACHED JUST BELOW THE ROOF DECK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO BELOW DECK ITEMS AND SUBSEQUENT REPAIRS.
- 3. INSTALL MISCELLANEOUS BLOCKING / FURRING AS REQ'D FOR FILLERS, ETC. TO ALLOW PROPER ALIGNMENT OF NEW / EXISTING CONDITIONS.
- 4. AT ALL EXISTING CURBS, ROOFTOP UNITS, ETC.: LIFT EXISTING UNIT OFF OF CURB TO ALLOW FLASHING UP AND OVER CURB. PROVIDE BLOCKING AS NECESSARY TO RAISE THE CURB ABOVE THE NEW ROOF SURFACE PER MFG. REQUIREMENTS INSTALL NEW FASTENERS TO RE-SECURE UNIT BACK IN PLACE UPON COMPLETION OF WORK [MIN. OF 2 PER SIDE]. IF UNIT CANNOT BE LIFTED OFF OF CURB, INSTALL NEW 24 GA. PRE-FINISHED METAL BIB FLASHING AT CURB.
- 5. VERIFY ALL DIMENSIONS FOR METAL EDGE, FASCIA, COPING, ETC. TO ENSURE NEW METAL ADEQUATELY COVERS AND OVERLAPS EXISTING JOINTS, MASONRY, EIFS, ETC. AND WILL NOT LEAVE UNFINISHED EDGES, PROFILES, SHADOWS, ETC.
- 6. REMOVE / REINSTALL EXISTING ELECTRICAL DEVICES, SENSORS, ETC. AS REQ'D TO INSTALL NEW METAL COPING, TYP. ALL AREAS
- 7. ALL EXPOSED TO VIEW JOINT SEALANT SHALL BE INSTALLED BY A QUALIFIED APPLICATOR. QUALITY OF SEALANT JOINTS WILL BE REVIEWED DURING CONSTRUCTION INCLUDING PROPER WIDTH / DEPTH RATIO, BACKER ROD, PRIMER, AND AESTHETICS - COORDINATE AS REQ'D.
- 8. INSTALL 1/4" GYPSUM / DENSDECK OR 1/2" HIGH DENSITY POLYISO COVER BOARD OVER FACE OF EXISTING PARAPET WALLS AND ROOF-WALL TRANSITIONS IF CONDITIONS DO NOT PERMIT APPLICATION OF NEW BASE FLASHING UP FACE OF WALL. THIS WILL BE ADDRESSED VIA FIELD CHANGE IF REQUIRED.
- 9. VERIFY CONDITION OF EXISTING METAL DECK AFTER REMOVAL OF EXISTING ROOF SYSTEM. REMOVE AND REPLACE DETERIORATED, CORRODED, FAILING METAL DECK. INCLUDE IN BID AMOUNT AN ALLOWANCE OF 4000 SF OF METAL DECK REPLACEMENT AND 100 SF OF WOOD PLANK DECK REPLACEMENT.



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EX. THRU WALL FLASHING TO

REMOVE EX., INSTALL NEW SELF ADHERED EPDM BASE FLASHING INSTALL NEW SELF ADHERED 60 MIL EPDM ROOF SYSTEM INSTALL NEW 1/4" GYPSUM COVER BOARD, ADHERE TO INSULATION INSTALL NEW TAPERED POLYISO ROOF INSULATION, ADHERE TO

REMOVE EX. ROOF SYSTEM COMPLETE TO METAL DECK -REFER TO ROOF MATRIX

- EX. T&G WOOD PLANK ROOF DECK TO REMAIN [FLAT]

0 3" 6" 12"